

STURBRIDGE LAKES ARCHITECTURAL CONTROL COMMITTEE

APPLICATION FOR CHANGE OR ALTERATION

NAME Sangita Doshi / Sanjay Kansupada DATE 01/14/24
ADDRESS 12 Wyndham Road, Voorhees, NJ PHONE 215-868-1229
EMAIL sanjaykansupada@gmail.com ⁰⁸⁰⁴³ (Sanjay) 215-370-3803
(your address will be added to the email alert list and you will receive approval notification by email)

Note: This completed form will be available for viewing on theLaker.net

- ✓ 1. Draw a simple sketch below to indicate location, dimensions, materials, color and other pertinent information, or attach a copy of your plans. Attached
- ✓ 2. Attach a copy of your lot survey on which you have drawn (to scale) the structure.
3. Submit 1 copy each (except swimming pools) of the following: this form, any plans, your lot survey
4. For swimming pools only, 2 copies of the following: this form, lot survey, pool plans, landscape plans (existing and proposed), soil erosion plan, and wastewater disposal plans (backwash and draining)
5. For tree removal and other landscape changes, on lot survey mark location of ALL trees noting the ones you wish to remove and why. Also, lightly shade all areas of property left 'undisturbed' to show compliance with our 20% undisturbed natural vegetation per Article V, Section 1. (p) of the C & R's.

Any questions call the Management Office: [888-884-8490](tel:888-884-8490)

PLEASE MAIL COMPLETED APPLICATION TO:
Sturbridge Lakes Architectural Control Committee
c/o MAMCO
14000 Horizon Way, Suite 200
Mt. Laurel, NJ 08054



owner signature

Owner grants permission to Architectural Committee and/or SLA Trustees to enter property to inspect proposed site.

NOTES:

1. Resident is required to obtain all Voorhees Township, state, and any other necessary permits. Call [429-0647](tel:429-0647)
2. Applications cannot be processed unless residents are current in their Association Dues

3. Residents should be advised that if an architectural matter must be referred to the Association attorney, the attorney's costs will become the financial responsibility of the homeowner.

APPROVED UNCONDITIONALLY _____

Chairperson

APPROVED CONDITIONALLY _____
(See Attachments)

Date

REJECTED _____
(See Attachments)

Property Manager

Date

____ Application cannot be processed because Association dues are delinquent. Please resubmit after dues are paid.

Manager

Date

revised 4/08

GENERAL NOTES

1. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL. MINIMUM BEARING VALUE TO BE 3500 PSF.
2. CONCRETE SHALL BE 4000 PSI (F'c) PER ACI 318. IN NO CASE SHALL CONCRETE CONTAIN LESS THAN 6 SACKS OF PORTLAND CEMENT PER CUBIC YARD OF CONCRETE OR MORE THAN 6 GALLONS OF WATER PER SACK OF CEMENT. (FOR AIR-ENTRAINED CONCRETE, THE WATER CONTENT IS TO BE FURTHER RESTRICTED TO NO MORE THAN 5 GALLONS PER SACK OF CEMENT).
3. ALL CONCRETE IS TO BE PROTECTED AGAINST THE IMPOSITION OF LOADS DURING CONSTRUCTION UNTIL IT HAS ATTAINED SUFFICIENT STRENGTH TO SAFELY RESIST ALL LOADS.
4. FRAMING LUMBER TO BE STRUCTURAL GRADE DOUGLAS FIR 1400 PSI (F'B) OR BETTER IN ACCORDANCE WITH AITC "TIMBER CONSTRUCTION MANUAL", LATEST EDITION. SUPPLY MICRO-LAM BEAMS AS MANUFACTURED BY TRUS JOIST CORPORATION. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. ALL NAILLED LUMBER CONNECTIONS SHALL BE PER THE FASTENING SCHEDULE OF THE INTERNATIONAL RESIDENTIAL CODE UNLESS OTHERWISE NOTED. ALL SPECIAL TIMBER CONNECTIONS SHALL BE PER THE AITC "TIMBER CONSTRUCTION MANUAL", LATEST EDITION, OR AS DETAILED.
6. ALL LUMBER USED IN FOUNDATIONS, OR IN CONTACT WITH CONCRETE OR SOIL, OR IN HARSH WEATHERING CONDITIONS SHALL BE NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER CONFORMING TO AMERICAN WOOD PRESERVERS STANDARD U1. ALL CONNECTIONS TO PRESERVATIVE TREATED (ACO) LUMBER SHALL BE MADE WITH HEAVY GALVANIZED OR STAINLESS STEEL CONNECTORS.
7. FLASH ALL EXTERIOR JOINTS PER NCR4 ROOFING MANUAL AND BEST ACCEPTED CONSTRUCTION PRACTICES USING AN APPROPRIATE MATERIAL FOR THE CONDITION AT HAND IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS. NO JOINT SHALL BE LEFT UNPROTECTED INCLUDING BUT NOT LIMITED TO HIPS, VALLEYS, JAMBS, SILLS, HEADS (DOORS OR WINDOWS), AND OTHER JOINTS, WHETHER VERTICAL OR HORIZONTAL, WHERE TWO PLANES MEET. INSTALL "ICE & WEATHER SHIELD" UP 36" FROM ALL ROOF EDGES PITCHED LESS THAN 6/12, AND OVER ENTIRE ROOF SECTIONS WITH A PITCH OF LESS THAN 4/12.

END OF GENERAL NOTES

**SINCOX ASSOCIATES
ARCHITECTS/PLANNERS**

414 1ST STREET
WESTFIELD, N.J. 07090
(908) 232-8188
(908) 232-4439 (f)
sincox@verizon.net



JOB # P23-044

GEORGE F. SINCOX AIA
NJ 07471 PA 88516 NY 020817

REVISIONS:

CODE NOTES

USE GROUP - R5 RESIDENTIAL
CONSTRUCTION TYPE - 5B
PROJECT DESIGNED TO THE FOLLOWING CODES:
NJAC-23 UNIFORM CONSTRUCTION CODE OF THE STATE OF NJ
2021 INTERNATIONAL RESIDENTIAL CODE - NJ EDITION
2020 NATIONAL ELECTRIC CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
AAMA/NFPA/NSA/2100 SUNROOM CLASSIFICATION:
CATEGORY III: THERMALLY ISOLATED SUNROOM WITH ENCLOSED WALLS
PROJECT DESIGN LOADS:
INTERIOR LIVE LOAD: 40 PSF; DECK LIVE LOAD: 60PSF; LOCAL SNOW LOAD: 30 PSF
DESIGN WIND SPEED: 120 MPH, 3 SEC GUST, ASCE 7
ALL GLAZING MEETS THE REQUIREMENTS OF IRC SECTION 308.3.1

SCOPE: PARTIALLY REMOVE EXISTING DECK AND BUILD A NEW WOOD DECK TO CODE. MANUFACTURE AND INSTALL A NEW SUNROOM TO PARTIALLY ENCLOSE NEW AND EXISTING DECKS. INSTALLATION TO BE IN ACCORDANCE WITH ALL MANUFACTURER'S SPECIFICATIONS.

GENERAL CONDITIONS

1. ALL WORK TO BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
2. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, NON-COMPLIMITES OR OMISSIONS IN PLANS AND WILL BEAR ALL COSTS ARISING FROM RECTIFYING WORK KNOWINGLY PERFORMED CONTRARY TO CODE REQUIREMENTS OR BEST ACCEPTED CONSTRUCTION PRACTICES.
3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK IN ACCORDANCE WITH BEST ACCEPTED CONSTRUCTION PRACTICES AND IN STRICT ACCORDANCE WITH THESE DOCUMENTS AND ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL BRACING, SHORING, ENCLOSURES, BARRIERS, SCAFFOLDING, ETC. AS REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY WEATHER CONDITIONS OR THE PROGRESS OF WORK. PROPERTY BELONGING TO THE OWNER IS TO BE PROTECTED THROUGHOUT THE TERM OF THE WORK.
5. THE CONTRACTOR SHALL LAY OUT ALL WORK AND ESTABLISH ALL POINTS, GRADES, LINES AND LEVELS AND ASSUME RESPONSIBILITY FOR SAME.

END OF GENERAL CONDITIONS

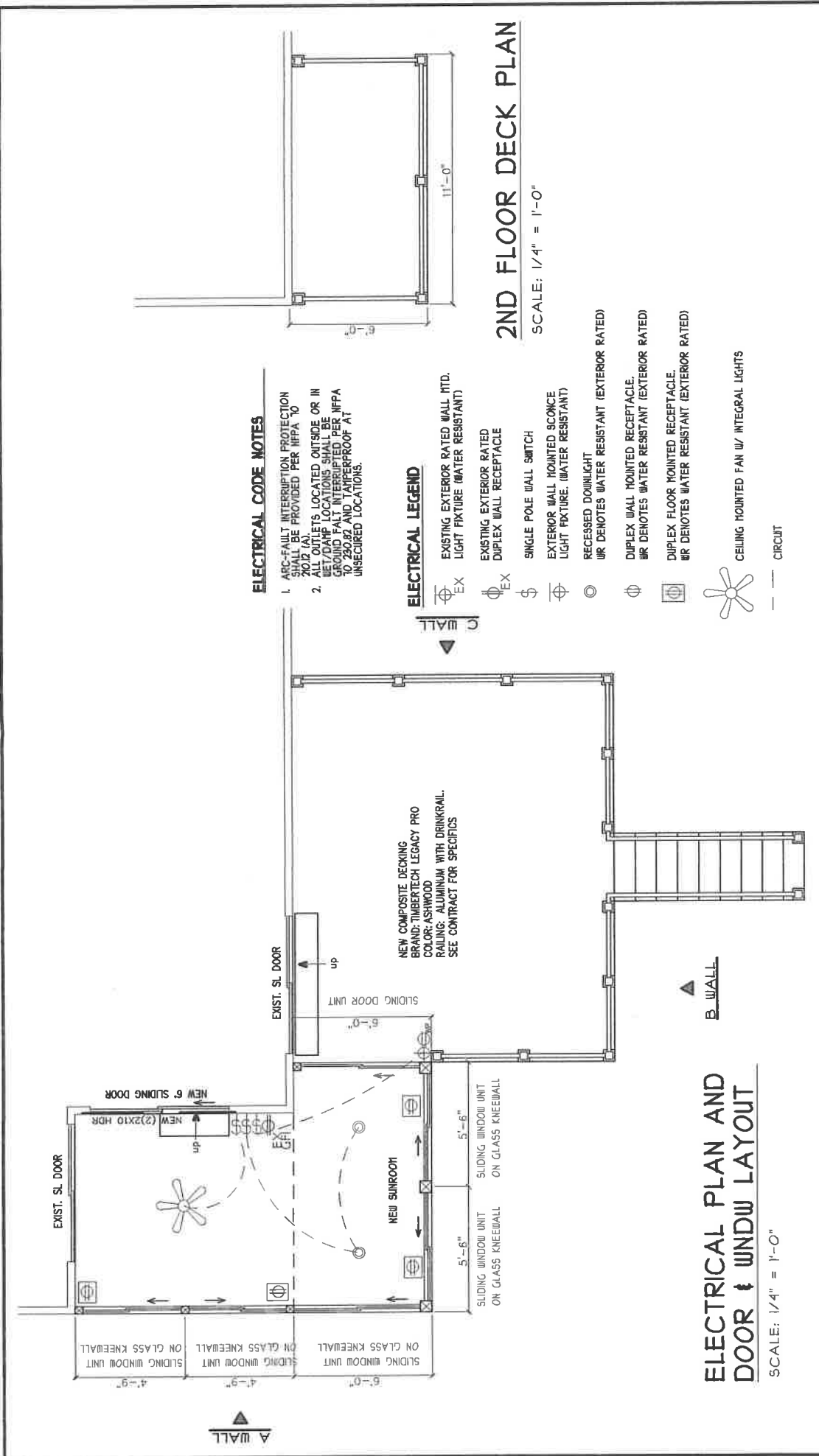


268 DUMKES FERRY RD
BERKSALEM, PA 19020
(600) 245-1104

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DRAWN	MSA
DATE	12.07.23
SCALE	AS NOTED
SHEET 1 OF	7

**KANSUPADA/
DOSHI**
12 WYNDHAM RD
VOORHEES, NJ 08043
JOB NO. 41988



ELECTRICAL CODE NOTES

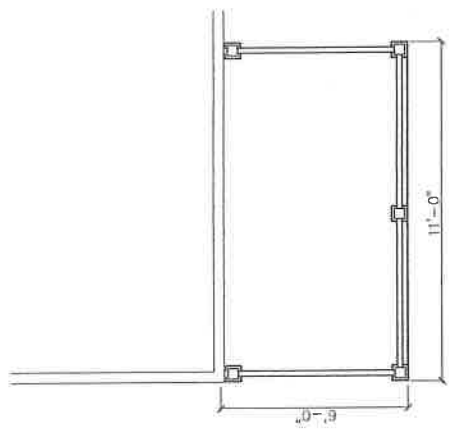
1. ARC-FAULT INTERRUPTION PROTECTION SHALL BE PROVIDED PER NFPA 70
2. ALL OUTLETS, LOCATED OUTSIDE OR IN WET/DAMP LOCATIONS, SHALL BE GROUND FAULT INTERRUPTED PER NFPA 70 250.82 AND TAPPROOF AT UNSECURED LOCATIONS.

ELECTRICAL LEGEND

- EX EXISTING EXTERIOR RATED WALL MTD. LIGHT FIXTURE (WATER RESISTANT)
- EX EXISTING EXTERIOR RATED DUPLEX WALL RECEPTACLE
- EX SINGLE POLE WALL SWITCH
- EX EXTERIOR WALL MOUNTED SCENCE LIGHT FIXTURE. (WATER RESISTANT)
- EX RECESSED DOWNLIGHT
- EX UR DENOTES WATER RESISTANT (EXTERIOR RATED)
- EX DUPLEX WALL MOUNTED RECEPTACLE.
- EX UR DENOTES WATER RESISTANT (EXTERIOR RATED)
- EX DUPLEX FLOOR MOUNTED RECEPTACLE.
- EX UR DENOTES WATER RESISTANT (EXTERIOR RATED)
- EX CEILING MOUNTED FAN W/ INTEGRAL LIGHTS
- EX CIRCUIT

2ND FLOOR DECK PLAN

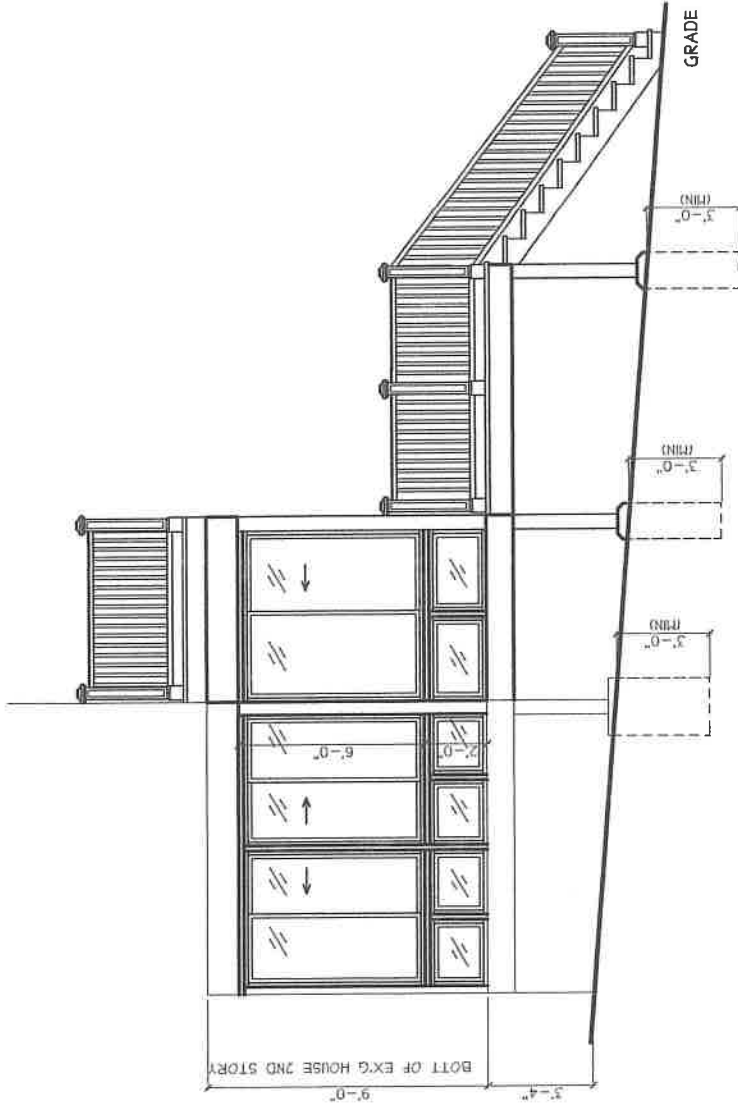
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN AND DOOR & WNDW LAYOUT

SCALE: 1/4" = 1'-0"

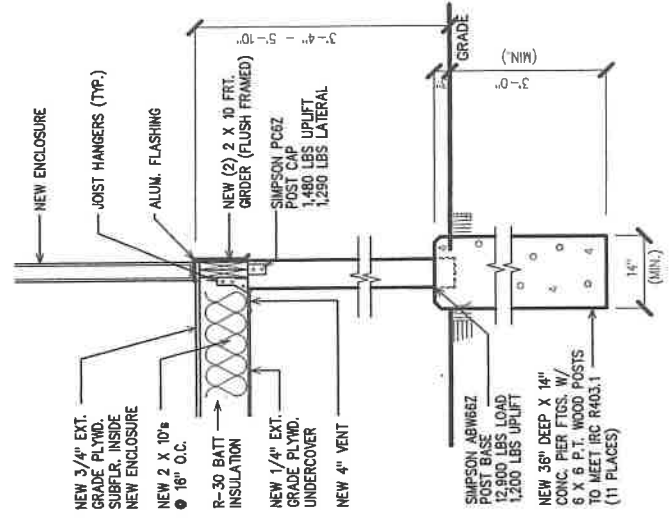
<p>SINCOX ASSOCIATES ARCHITECTS/PLANNERS 414 1ST STREET WESTFIELD, N.J. 07090 (908) 232-8188 (908) 232-4439 (f) sincox@verizon.net</p>	<p>JOB # P23-044</p>	<p>REVISIONS:</p>	<p>DRAWN: MSA</p>	<p>THIS DRAWING IS THE PROPERTY OF PATIO ENCLOSURES. ALL RIGHTS RESERVED. DUPLICATION OF THIS DRAWING IN ANY FORM IS NOT PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF PATIO ENCLOSURES.</p>	<p>KANSUPADA/ DOSHI 12 WYNDHAM RD VOORHEES, NJ 08043</p>
			<p>DATE: 12.07.23</p>	<p>GREAT DAY IMPROVEMENTS patio ENCLOSURES 268 DUMKES FERRY RD BENSALEM, PA 19020 (800) 245-104</p>	<p>JOB NO. 41988</p>
			<p>SCALE: AS NOTED</p>	<p>SHEET 3 OF 7</p>	<p>GEORGE F. SINCOX AIA NJ C7471 PA BB516 NY 020817</p>



(PE - A WALL)

ELEVATION

SCALE: 1/4" = 1'-0"



PIER DETAIL

SCALE: 1/2" = 1'-0"

SINCOX ASSOCIATES
ARCHITECTS/PLANNERS

414 1ST STREET
 WESSFIELD, N.J. 07090
 (908) 232-8188
 (908) 232-4439 (f)
 sincoxad@verizon.net

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JOB # P23-044

GEORGE F. SINCOX AIA
 NJ C7471 PA B6816 NY 02817

REVISIONS:

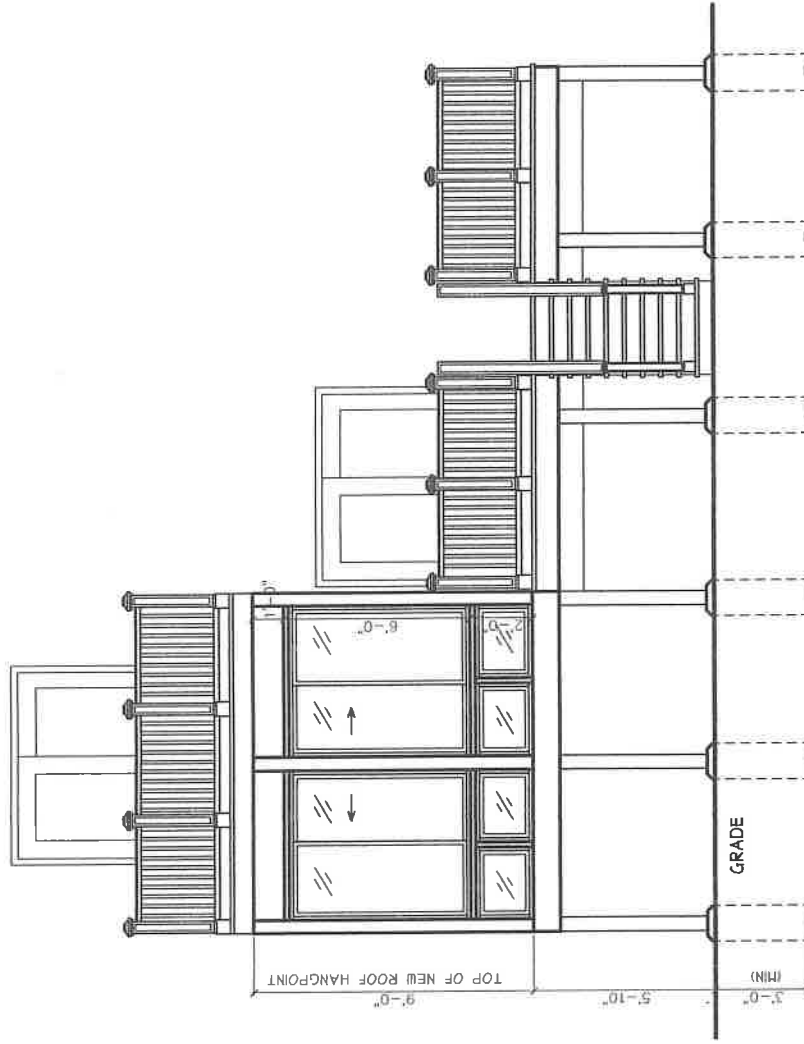
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DATE	12.07.23
SCALE	AS NOTED
SHEET 4 OF	7

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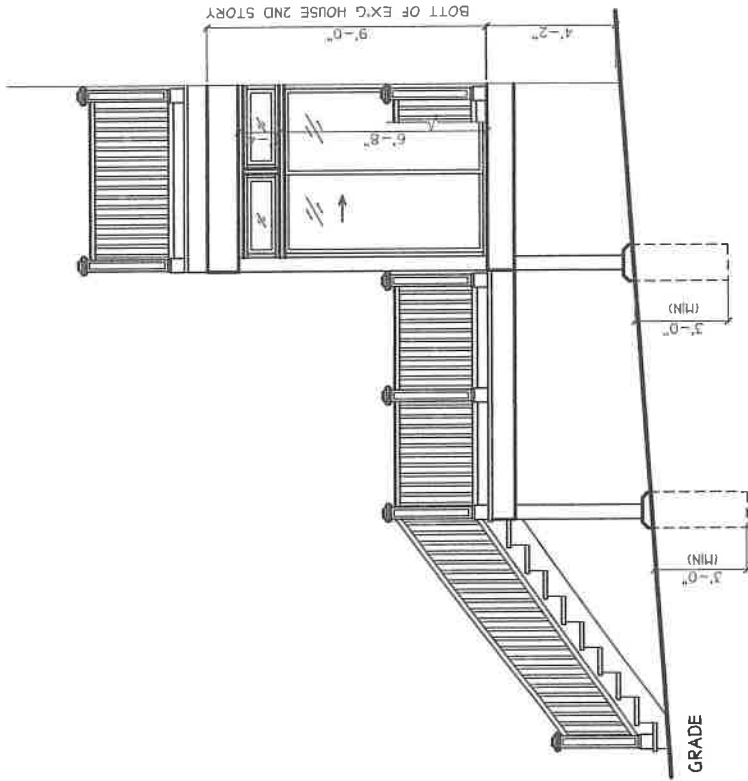


268 DUNGS FERRY RD
 BEVERLY, PA 19020
 (800) 245-1104


KANSUPADA/
DOSH
 12 WYNDHAM RD
 VORHEES, NJ 08043
 JOB NO. 41988



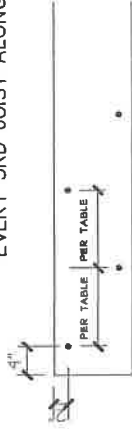
(PE - B WALL)
ELEVATION
 SCALE: 1/4" = 1'-0"



(PE - C WALL)
ELEVATION
 SCALE: 1/4" = 1'-0"

SINCOX ASSOCIATES ARCHITECTS/PLANNERS 414 5 TH STREET WESTFIELD, N.J. 07090 (908) 232-8188 (908) 232-4439 (f) encs@aol.com	JOB # P23-044  GEORGE F. SINCOX AIA NJ C7471 PA 88616 NY 028817	REVISIONS:	DRAWN MSA DATE 12.07.23 SCALE AS NOTED SHEETS OF 7	 GREAT DAY IMPROVEMENTS 288 DUMKES FERRY RD BEHNSALEN, PA 19020 (800) 245-1104	KANSUPADA/ DOSHI 12 WYNDHAM RD VOORHEES, NJ 08043 JOB NO. 41988
		THIS DRAWING IS THE PROPERTY OF PATIO ENCLOSURES. ALL RIGHTS RESERVED. DUPLICATION OF THIS DRAWING IN ANY FORM IS NOT PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF PATIO ENCLOSURES.			

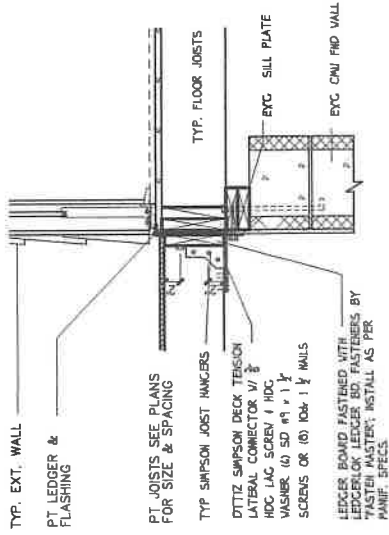
INSPECT EXISTING LEDGER AND MAKE REPAIRS TO ANY DEFICIENT AREA. INSTALL SIMPSON LATERAL CONNECTORS EVERY 3RD JOIST ALONG LEDGER LENGTH



FASTENERS SHOULD BE STAGGERED IN A 'V' PATTERN

LEDGERLOK FASTENING DIAGRAM

SCALE: 3/4" = 1'-0"



DECK LEDGER DETAIL

SCALE: 3/4" = 1'-0"

FASTEN MASTER LEDGERLOK - TABLE 1

LIVE LOAD	LEDGER MATERIAL	RIM MATERIAL	SPACING BETWEEN FASTENERS (IN INCHES) BASED ON JOIST SPANS OF:							
			2'-0" OR LESS	UP TO 8'-0"	UP TO 10'-0"	UP TO 12'-0"	UP TO 14'-0"	UP TO 16'-0"	UP TO 18'-0"	
40 PSF	DOUG. FIR. / S. PINE	2X LUMBER	24	18	14	12	10	9	8	
	HEM FIR	EW RIM	25	19	15	12	10	9	8	
40 PSF	DOUG. FIR. / S. PINE	2X LUMBER	20	15	12	10	8	7	6	
	HEM FIR	EW RIM	25	19	15	12	10	9	8	
40 PSF	DOUG. FIR. / S. PINE	2X LUMBER	17	13	10	8	7	6	5	
	HEM FIR	EW RIM	18	13	10	9	7	6	6	
40 PSF	DOUG. FIR. / S. PINE	2X LUMBER	14	11	8	7	6	5	4	
	HEM FIR	EW RIM	18	13	10	9	7	6	6	

NOTES: 1. OR S" LEDGERLOK- THREADS SHALL FULLY ENGAGE THE RIM BOARD MATERIAL AND FASTENER TIP EXTENDS BEYOND THE INSIDE FACE OF THE RIM JOIST.
 2. FASTENERS TO BE INSTALLED WITH A HIGH TORQUE, 1/2" VARIABLE SPEED DRILL.
 3. FOLLOW MIN. SPACING AND PATTERN AS SHOWN.

* AT OPEN DECK

** AT ENCLOSED DECK

**SINCOX ASSOCIATES
ARCHITECTS/PLANNERS**

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WESTFIELD, N.J. 07090
(908) 232-8188
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[Handwritten Signature]

GEORGE F. SINCOX AIA
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REVISIONS:

JOB # P23-044

DRAWN	MSA
DATE	12.07.23
SCALE	AS NOTED
SHEET # OF	7

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DOSH**
12 WYNDHAM RD
VOORHEES, NJ 08043
JOB NO. 41988

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SINCOX ARCHITECTS	Date <u>12/28/23</u> By <u>AS</u> <input checked="" type="checkbox"/> NO EXCEPTION TAKEN <input type="checkbox"/> MAKE CORRECTIONS NOTED <input type="checkbox"/> REJECTED <input type="checkbox"/> REVISE AND RESUBMIT CORRECTIONS OR COMMENTS FOR THE LACK THEREOF MARKED ON THIS SUBMISSION DURING ITS REVIEW DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR CONFIRMING QUANTITIES, DIMENSIONS, FABRICATION PROCESSES AND TECHNIQUES, AND COORDINATION. THIS CHECK IS ONLY FOR REVIEW OF GENERAL CONFORMANCE WITH THE DESIGN CONCEPT.
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Pages 1-4

Index of Drawings

01 Title Sheet

02 Wall Details

03 ICC Report pages 1 & 2

04 ICC Report Page 3



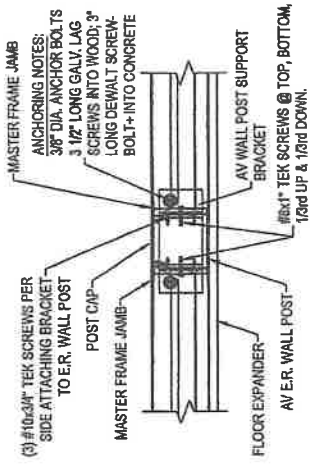
LOCATION
 GDI - PHILADELPHIA
 288 DUNINGFERRY ROAD
 BENSALERT, PA 19020
 215-265-1100

Kansupada sunroom
 12 Wyncdahn Road
 Voorhees, NJ 08043

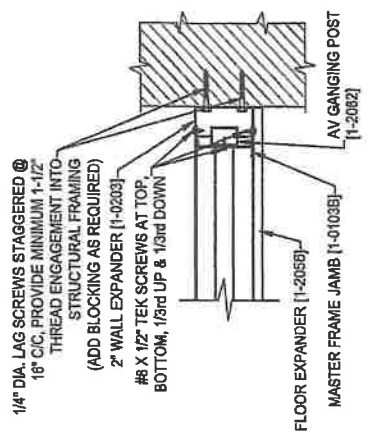
DATE: 12/28/23
 DRAWN: EB
 SCALE:
 AS NOTED
 SHEET 1 of 4

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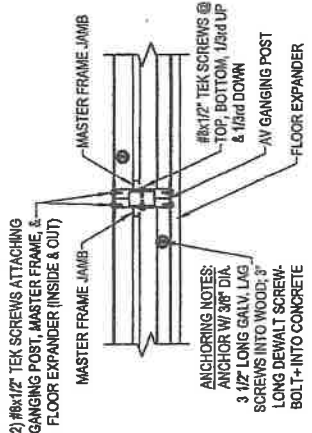
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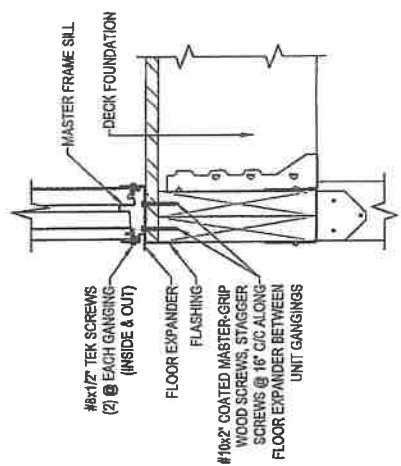
PLAN VIEW OF MASTER FRAME JAMBS
 CONNECTION @ AV ER WALL POST



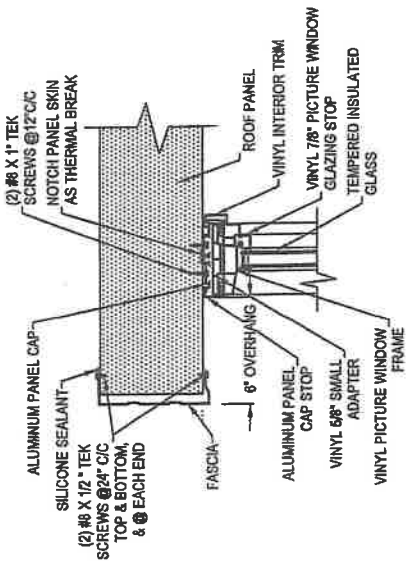
PLAN VIEW OF MASTER FRAME JAMB
 CONNECTION @ EXISTING WALL



PLAN VIEW OF MASTER FRAME JAMBS
 CONNECTION @ GANGING POST

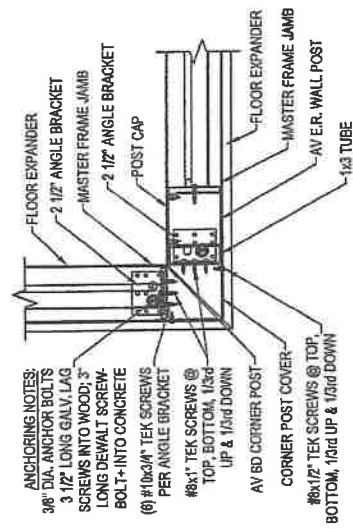


SECTION THROUGH MASTER FRAME SILL
 CONNECTION @ DECK FOUNDATION



SECTION THROUGH 3" SUPER FOAM ROOF PANEL
 CONNECTION @ GLASS WING

Note: Connection similar to wood headers



PLAN VIEW OF MASTER FRAME JAMBS & AV ER,
 WALL POST CONNECTION @ CORNER POST



ICC-ES Evaluation Report

ESR-1470

Reissued June 2022
This report is subject to renewal June 2022.

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A Subsidiary of the International Code Council®

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
Section: 07 00 00—Roofing and Siding Panels

REPORT HOLDER:
GREAT DAY IMPROVEMENTS, LLC

EVALUATION SUBJECT:
SUPER-FOAM ROOF SYSTEM

1.0 EVALUATION SCOPE

1.1 Compliance with the following codes:
2019, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)

Properties evaluated

- Structural
- Fire classification
- 1.2 Evaluation to the following green code(s) and/or standards:
 - 2019 California Green Building Standards Code (CALGreen), Title 24, Part 11
 - 2015, 2012 and 2009 ICC 700 National Green Building Standards (ICC 700-2015, ICC 700-2012 and ICC 700-2008)

Attributes verified:
See Section 3.1

2.0 USES

The Great Day Improvements, LLC, Super-Foam Roof System, described in this report, is used to construct roofs for patio covers complying with Appendix H of the IRC.

3.0 DESCRIPTION

3.1 General:
The Great Day Improvements, LLC, Super-Foam roof system consists of roof panels, which are interconnected by aluminum splices field-installed in the longitudinal joints of the panels. Each roof panel is a factory-assembled sandwich panel consisting of aluminum facings adhered to an expanded polystyrene foam plastic core. The panels are 36 inches (914 mm) wide and have nominal thicknesses of 3, 4½, and 6 inches (76, 117 and 152 mm), with longitudinal square-cut edges.

The attributes of the roof system have been verified as conforming to the provisions of (I) CALGreen Section

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ESR-1470 | Most Widely Accepted and Trusted

minimum nominal shear strength (F_v) of 1000 pounds (4448 N) and a minimum nominal tensile strength (F_t) of 1575 pounds (7038 N), in accordance with a current ICC-ES evaluation report. The screws must connect the top flange of the beam splices to the top aluminum facing at each side of the longitudinal joint of adjacent roof panels. Refer to Section 4.2 for screw spacing and distance to panel supports.

4.0 DESIGN AND INSTALLATION

4.1 Design:

Maximum allowable gravity and wind loads, based on strength and deflection considerations, are set forth in Table 1. The loads noted in Table 1 are the allowable total superimposed transverse loads for the roof panels, which must be greater than the applied loads determined in accordance with accepted engineering practice, including load combinations such as those noted in IRC (International Building Code®) Section 1605.3. For load combinations using more than one basic load condition, such as roof live load, wind load or snow load, the roof system shall be designed to resist lateral forces such as seismic or horizontal wind loads, in addition to the allowable panel span.

Use of the roof panel system to resist any other loading conditions, such as axial compression or tension forces, when the panels are subjected to wind lateral forces such as seismic or horizontal wind loads, is outside the scope of this report.

4.2 Installation:

The panels must be installed as the roof of a patio cover with the panel length perpendicular to the supporting members and continuous in the direction of the roof slope, without transverse joints. The roof panel longitudinal seam must be located a minimum of 24 inches (608 mm) from the middle face of the wall, parallel to the panel length, to prevent ponding. The panels must be installed at the minimum roof slope noted in Table 1. Supports of the panel and longitudinal spine assembly must provide a minimum 1-inch-wide (25.4 mm) continuous bearing width at support loca

Each roof panel, and the packaging of the aluminum spine members, is identified by a label bearing the name and address of Great Day Improvements, LLC, the system name (Super-Foam Roof Panel System), the statement "For Use in One- and Two-Family Dwellings Only", and the evaluation report number (ESR-1470).

6.0 CONDITIONS OF USE

The Super-Foam roof system described in this report complies with, or is a suitable alternative to what is

specified in the code indicated in Section 1.0 of this report, subject to the following conditions:

6.1 The system shall be limited to use as roof panels of patio covers regulated by Appendix H of the IRC.

6.2 Panel fabrication, identification and installation must comply with this report and the manufacturer's published installation instructions. In the event of a conflict between this report and the manufacturer's published instructions, this report governs.

6.3 Panel connectors to the supporting structure shall be designed to resist the applicable loads in accordance with the applicable code.

6.4 The remaining portions of the structure are outside the scope of this report and shall be designed and constructed in accordance with the applicable code.

6.5 Calculations and drawings demonstrating compliance with this report shall be submitted to the official. The design professional must be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.

6.6 Recognition under the IRC is limited to installations under Section R602.1, unless evidence of testing in accordance with ASTM E108 or UL780 is provided.

6.7 The panels are fabricated at the Great Day Improvements, LLC, facility in Macedonia, Ohio, with follow-up inspections by ICC-ES.

6.9 EVIDENCE SUBMITTED

6.1 Data, in accordance with the ICC-ES Acceptance Criteria for Sandwich Panels (AC04), dated February 2012 (editorially revised May 2018).

6.2 Data, in accordance with the ICC-ES Acceptance Criteria for Foam Plastic Insulation (AC12), dated June, 2016 (editorially revised October 2017), including reports of room fire tests.

7.0 IDENTIFICATION

7.1 The report holder's contact information is the following:
GREAT DAY IMPROVEMENTS, LLC
700 EAST HIGHLAND ROAD
Macedonia, Ohio 44086
(330) 488-0700
www.greatdayimprovements.com

7.2 The report holder's contact information is the following:
GREAT DAY IMPROVEMENTS, LLC
700 EAST HIGHLAND ROAD
Macedonia, Ohio 44086
(330) 488-0700
www.greatdayimprovements.com



LOCATION
GDI - PHILADELPHIA
288 DUNKERSFERRY ROAD
BENSALLEN, PA 19020
215-245-1100

Kansapada sunroom
12 Wyndahn Road
Vorhees, NJ 08043

DATE: 2/28/23
DRAWN: EB
CHECKED: AS NOTED
SHEET 3 OF 4

Handwritten initials



BY GREAT DAY APPROVED, LLC
 215-245-1100
 601 - PHILADELPHIA
 288 DUNKIN FERRY ROAD
 BENSALIN, PA 19020

LOCATION
 Kanspada sunroom
 12 Wyncham Road
 Voorhees, NJ 08043

DATE 12/28/23
 DRAWN EB
 BCJUF
 AS NOTED
 SHEET 4 OF 4

TABLE 1—SUPER-FOAM ROOF SYSTEM ALLOWABLE PANEL SPAN¹ (ft)

APPLIED UPLIFT WIND PRESSURE FOR DESIGN (psf) ²	3.0 INCH - 0.024" - 1.5 psf EP8 - 0.024" Applied Downward Pressure for Design Basic Load Class				4.025 INCH - 0.024" - 1.8 psf EP8 - 0.024" Applied Downward Pressure for Design Basic Load Class				6.0 INCH - 0.024" - 1.5 psf EP8 - 0.024" Applied Downward Pressure for Design Basic Load Class			
	Patio Live Load		Snow Load		Patio Live Load		Snow Load		Patio Live Load		Snow Load	
15	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
20	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
25	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
30	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
35	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
40	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
APPLIED UPLIFT WIND PRESSURE FOR DESIGN (psf) ³	10 psf	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
15	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
20	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
25	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
30	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
35	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	
40	10'-0"	17'-5"	20 psf	19'-0"	10 psf	16'-0"	18'-0"	20 psf	15'-0"	16'-0"	18'-0"	

For 6": 1 inch = 25.4 mm, 1 foot = 304.8 mm.

¹The tabulated panel spans are based on the panels subjected to uniform loading conditions and installed under single span conditions with a maximum deflection of 1/160 of the span. The spans are based on the panels subjected to uniform loading conditions and installed under single span conditions with a maximum deflection of 1/160 of the span. The spans are based on the panels subjected to uniform loading conditions and installed under single span conditions with a maximum deflection of 1/160 of the span.

²The tabulated panel spans are based on the lesser of strength limits and deflection limits. The deflection limits are L/150 of the span for gully flats and L/120 of the span for wide gullies. A more stringent deflection limit may be required for certain applications. The spans are based on the panels subjected to uniform loading conditions and installed under single span conditions with a maximum deflection of 1/160 of the span.

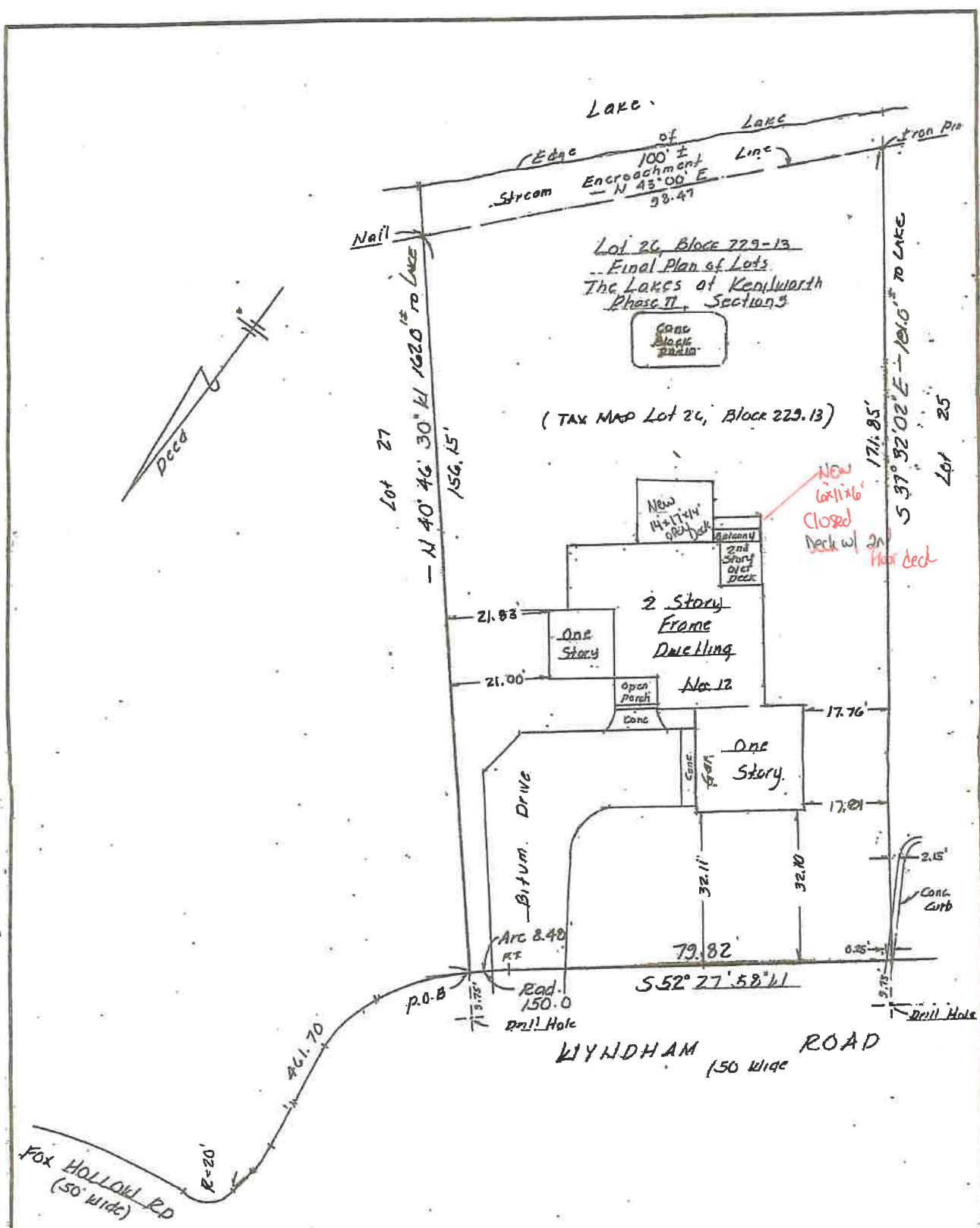
³The minimum roof panel slope must be 1/4" per foot. This minimum roof slope is based on panel deflection only. Increased slopes are required where panel drainage is required. The minimum roof slope must be 1/4" per foot. This minimum roof slope is based on panel deflection only. Increased slopes are required where panel drainage is required.

⁴Unless otherwise noted, the maximum snow projection (load overhang) of the roof panels is 24 inches.

⁵Unless otherwise noted, the maximum snow projection (load overhang) of the roof panels is 24 inches.

⁶The patio pressure and ASD (net load); see Article 6.1 of the applicable code.

CS



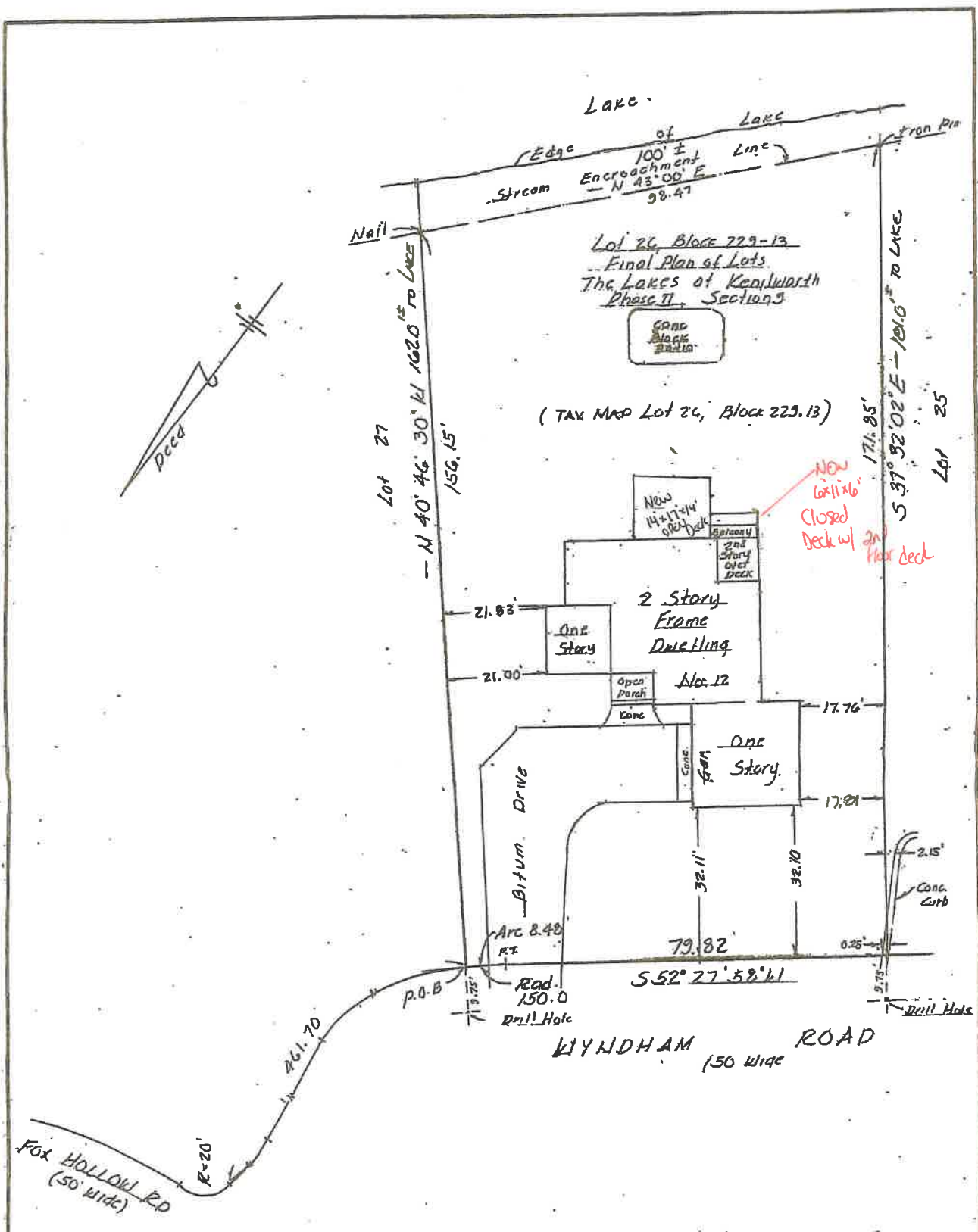
For Surety Title Company, LLC & W.F.G. National Title Insurance Company
 OAK MONTGOMERY COMPANY, its successors and assigns to their heirs and assigns

TO Sangita Doshi
 any holder of Title relying hereon and any other party in interest:
 In consideration of the fee paid for making this survey, I hereby certify to its accuracy (except such encumbrance, if any, that may be located below the surface of the lands or on the surface of the lands and not visible) as an inducement for any holder of Title to insure the title to the lands and premises shown thereon (responsibility limited to current transactions).

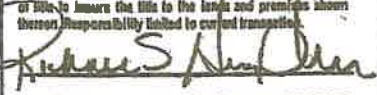
RICHARD S. HUMPHRIES
 P.L.S. N.J. L.L.C. 24089
 DATE OF SURVEY Apr. 8, 2015

Walter H. Macnamara Assoc., Inc.
 Professional Land Surveyors
 Certificate of Authorization 24GA28052300
 818 Haddon Ave., Collingswood, NJ 08108

Survey of Premises:
NO. 12 WYNDHAM ROAD
VOORHEES TOWNSHIP
CAMDEN Co. New Jersey
 Scale - 1" = 20' R.L.S. - 14



For Surety Title Company, LLC & W.F.G. National Title Insurance Company
 OAK MORTGAGE COMPANY, ITS SUCCESSORS AND ASSIGNS AND THEIR AGENTS AND EMPLOYEES

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 any holder of Title relying hereon and any other party in interest:
 In consideration of the fee paid for making this survey, I hereby certify to its accuracy (except such encumbrance, if any, that may be located below the surface of the lands or on the surface of the lands and not visible) as an inducement for any holder of Title to insure the title to the lands and premises shown thereon. Responsibility limited to current transactions.

RICHARD S. HUMPHRIES
 P.L.S. N.J. LIC. 34858
 DATE OF SURVEY Apr. 8, 2015

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